

Midtown Spectrum Building 1

Investment Opportunity



For additional information, call:

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Property Highlights

Midtown Spectrum • 15095 Amargosa Rd, Victorville, CA



Description

Midtown Spectrum is a state of the art Mixed-Use Development Project on the corner of Amargosa and Midtown Drive. The project consists of one large office building, one retail strip, and a two-building retail/food court (planned for construction in 2013-2014).

Midtown Spectrum was built in 2006 and is one of the few Class-A development projects in the entire high-desert. No property in the Victorville area can provide the same elegance, location, and synergy this project has. Developed, planned, and constructed by AyZar Development, Midtown Spectrum is able to provide a top-notch investment opportunity at a competitive rate.

Location, Location, Location

Located in a booming area of Victorville, one doesn't have to look far to see the potential in Midtown Spectrum. Within a 1/4 mile radius is Winco Foods (2008) which shadows anchors the project, High-Desert Residential condominiums either built or under construction, the Home-Depot Center (2007), and plans are underway for the construction of a large hotel as well.

Demographics

Average house hold income is \$58,966 within 3 miles.

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Investment Highlights

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Financial Analysis

Midtown Spectrum Rent Roll & Projected Income As of 07/01/2014

Ste	Bldg	Tenant	RSF	% Occp Each Bldg	\$/SF	Rent/M	\$/SF CAM	CAM/M	Lease Start Date	Lease End Date
205	1	Leased-Victor Support Services	8,899	25.39%	1.90	16,950	0.02	187	05/01/08	04/30/15
208	1	Leased-Victor Support Services	4,888	13.95%	1.90	9,311	-		05/02/08	04/30/15
102	1	Leased-Maxim Health Services	2,361	6.74%	1.65	3,896	-		12/01/07	02/28/18
107	1	Leased-Veteran's Affairs	4,406	12.57%	1.37	6,018	-		09/01/09	08/31/19
104	1	Leased-Physical Therapist	1,913	5.46%	1.57	3,000	-	-	11/01/09	12/31/16
Roof	1	Metro PCS	-	0.00%		1,030			10/02/11	09/30/16
108	1	Arrowhead Orthopaedics	2,102	6.00%	2.19	4,603	-		11/01/11	11/30/16
106	1	Arrowhead Orthopaedics	2,413	6.88%	2.19	5,285	-		09/01/13	08/31/16
101	1	G4S	1,415	4.04%	1.65	2,335	-		11/01/09	12/31/16
103	1	Season's Healthcare	2,220	6.33%	1.50	3,331	-		09/01/14	11/31/17
202	1	Vacant-Raw Shell-Divisible-TIA Available	4,434	12.65%	1.50	6,651	-			

Total Leased Bldg 1	30,618	87%	1.71	52,427	0.01	187
Total Vacant Bldg 1	4,434	13%	2.78	12,316	-	-
Total Bldg 1	35,052	100%	1.85	64,743	0.01	187

Performa

Total Revenue - Performa	Value	751,147
Less Vacancy Factor	10%	(75,115)
Less Operating Expenses - 2013 Forecast		(180,317)
Less General & Administrative Expenses - 2013 Forecast		(4,958)
Net Income		490,758
Cap Rate		7.0%
Value-Building 1		7,010,825

Actual

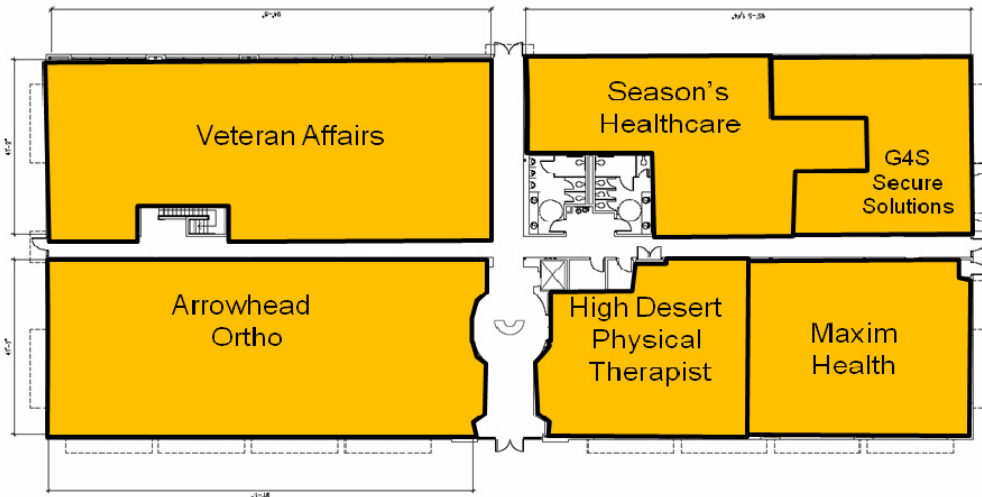
Total Revenue - Existing		671,337
Less Operating Expenses - 2013 Forecast		(180,317)
Less General & Administrative Expenses - 2013 Forecast		(4,958)
Net Income		486,062
Cap Rate		7.0%
Value-Building 1		6,943,737



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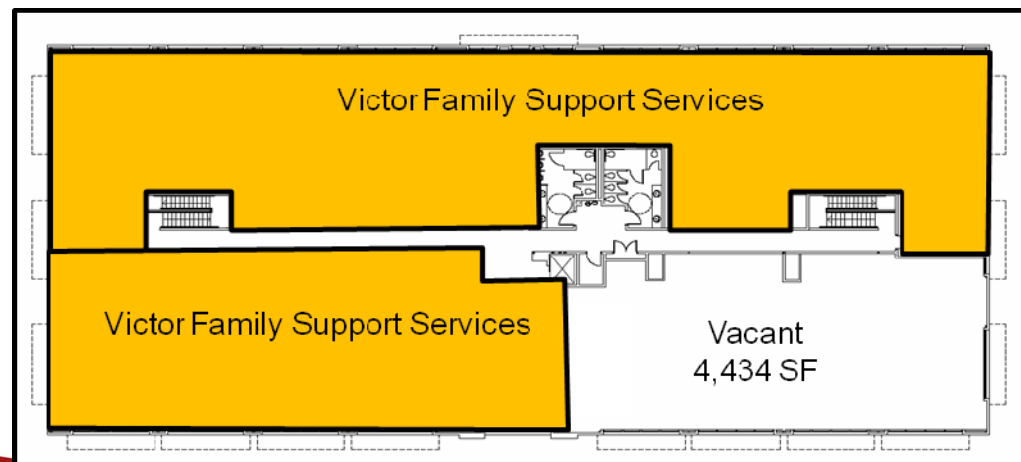
Site Plan

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1st Floor

2nd Floor



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Photos

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Additional Information

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Demographics

Demographics	1 Mile	3 Miles	5 Miles
Total Population	8,348	56,452	133,356
Average Household Income	\$44,930	\$47,433	\$58,966

White	51.70%	53.80%	58.20%
Black	15.60%	12.30%	10.80%
American Indian	0.90%	1.10%	1.00%
Asian	2.80%	3.30%	3.90%
Pacific Islander	0.20%	0.20%	0.30%
Some Other Race	21.00%	21.80%	18.80%
Two or More Races	7.80%	7.50%	7.00%

Source: ST38

TRAFFIC COUNT

Amargosa Rd. South of Roy Rogers	17,327 CPD
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Source: City of Victorville



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